

CURVE #	LENGTH	BEARING	CHORD	CHORD BEARING
C1	41.57	S 25.07° E	37.42	S 25.07° E
C2	50.84	S 18.07° E	35.50	S 18.07° E
C3	32.53	S 18.07° E	18.27	S 18.07° E
C4	22.43	S 18.07° E	11.31	S 18.07° E
C5	108.10	S 18.07° E	83.74	S 18.07° E
C6	30.42	S 18.07° E	17.41	S 18.07° E
C7	108.10	S 18.07° E	83.74	S 18.07° E
C8	30.42	S 18.07° E	17.41	S 18.07° E
C9	108.10	S 18.07° E	83.74	S 18.07° E
C10	30.42	S 18.07° E	17.41	S 18.07° E
C11	108.10	S 18.07° E	83.74	S 18.07° E
C12	30.42	S 18.07° E	17.41	S 18.07° E
C13	108.10	S 18.07° E	83.74	S 18.07° E
C14	30.42	S 18.07° E	17.41	S 18.07° E
C15	108.10	S 18.07° E	83.74	S 18.07° E
C16	30.42	S 18.07° E	17.41	S 18.07° E
C17	108.10	S 18.07° E	83.74	S 18.07° E
C18	30.42	S 18.07° E	17.41	S 18.07° E
C19	108.10	S 18.07° E	83.74	S 18.07° E
C20	30.42	S 18.07° E	17.41	S 18.07° E
C21	108.10	S 18.07° E	83.74	S 18.07° E
C22	30.42	S 18.07° E	17.41	S 18.07° E

- NOTES:
1. 1/4" IRON RODS WILL BE SET AT ALL LOT CORNERS AND ANGLE POINTS UNLESS NOTED OTHERWISE.
  2. DISTANCES SHOWN ON CURVES ARE CHORD LENGTHS.
  3. ALL LOTS WILL BE SET AND OTHER REQUIREMENTS AS SHOWN IN THE CITY OF BRYAN DEVELOPMENT ORDINANCE, FOR THE ZONING CLASSIFICATION IN WHICH THEY LIE.
  4. BEARING SYSTEM SHOWN HEREIN IS BASED ON GRID NORTH AS ESTABLISHED FROM GPS OBSERVATION.
  5. NO PORTION OF THIS TRACT IS WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO THE FEMA FLOOD ELEVATION MAP FOR BRAZOS COUNTY AND HIGHLIGHTED AREAS, MAP NO. 4301010101, EFFECTIVE DATE APRIL 2, 2014.
  6. LOT 1 IS ZONED SOUTH COLLEGE RESIDENTIAL. THE REMAINDER OF THE PROPERTY IS ZONED PLANNED DEVELOPMENT-HIGH DENSITY (PD-H) DISTRICT, AS APPROVED BY THE BRYAN CITY COUNCIL, ON AUGUST 4, 2010 (ORDINANCE NO. 103). DEVELOPMENT IN THIS SUBDIVISION SHALL BE SUBJECT TO THE STANDARDS OF THAT PD-H DISTRICT.
  7. EASEMENTS FOR COMMON AREAS WILL BE CARRIED AND MAINTAINED BY THE HOME OWNERS' ASSOCIATION (HOA). HOA DOCUMENTS WILL BE PROVIDED WITH THE FINAL PLAT IN ACCORDANCE WITH LEO SECTION 13-2.3.3.1 CHIMES ASSOCIATIONS FOR COMMON AREAS AND FACILITIES.
  8. NO ON-STREET PARKING WILL BE ALLOWED ALONG COMMON AREA 1 AND LOTS 13 THROUGH 18.
  9. 1 STREET WILL BE REQUIRED TO BE FRONT YARD OF EACH LOT AND A MINIMUM OF 2 TREES IN COMMON AREA 1 WITH THE EXCEPT OF LOT 1.
  10. THE FOLLOWING SETBACKS SHALL APPLY TO THIS DEVELOPMENT WITH THE EXCEPT OF LOT 1:
    - 10a. FRONT SETBACK - 15'
    - 10b. SIDE SETBACK - 15'
    - 10c. REAR SETBACK - 5'
  11. THE FRONT FACIES BETWEEN ADJACENT BUILDINGS SHALL BE SEPARATED BY 2' MINIMUM TO BREAK THE VISUAL PLANE OF THE STREET WITH THE EXCEPT OF LOT 1.
  12. LOT 1, BLOCK 1, ADDRESS IS 207 WEST ACCESS EASEMENT 8578/27 AND AS OWNED BY ACCESS EASEMENT 8578/27, 1990 EXCEPTED BY 1000 COMPENSATION TO THIS HOUSE, COMPENSATION FOR RECORDS JUNE 18, 1990 IN VOLUME 1145, PAGE 289 OFFICIAL RECORDS, BRAZOS COUNTY, TEXAS.
  13. PRIVATE ACCESS EASEMENT ON LOTS 13 & 14 IS FOR THE BENEFIT OF LOT 1, BLOCK 1 TO ACCESS HOIST COURT.

N/F GH2M VENTURES, LLC  
1.928 ACRES  
9749/200

N/F WHITING REAL ESTATE  
INVESTMENTS, LLC  
TRIANGLE SUBDIVISION  
LOT 1-3  
8784/190

N/F HOWDY COURT  
32' ROW - 27' HUNG PENDENT

N/F TWIN CITY MISSION, INC.  
0.52 ACRES  
4381/186

N/F BENEVOLENT AND PROTECTIVE  
ORDER OF ELKS, LODGE NO. 2086  
1.767 ACRES  
225/141

N/F THETA ZETA OF CHI PHI  
ALUMNI HOUSING ASSOCIATION  
REMANINDER OF CALLED  
1.702 ACRES  
8578/27

N/F THETA ZETA OF CHI PHI  
ALUMNI HOUSING ASSOCIATION  
REMANINDER OF CALLED  
2.301 ACRES  
8578/27

N/F THETA ZETA OF CHI PHI  
ALUMNI HOUSING ASSOCIATION  
REMANINDER OF CALLED  
1.702 ACRES  
8578/27

N/F THETA ZETA OF CHI PHI  
ALUMNI HOUSING ASSOCIATION  
REMANINDER OF CALLED  
1.702 ACRES  
8578/27

N/F THETA ZETA OF CHI PHI  
ALUMNI HOUSING ASSOCIATION  
REMANINDER OF CALLED  
1.702 ACRES  
8578/27

N/F THETA ZETA OF CHI PHI  
ALUMNI HOUSING ASSOCIATION  
REMANINDER OF CALLED  
1.702 ACRES  
8578/27

N/F THETA ZETA OF CHI PHI  
ALUMNI HOUSING ASSOCIATION  
REMANINDER OF CALLED  
1.702 ACRES  
8578/27

N/F THETA ZETA OF CHI PHI  
ALUMNI HOUSING ASSOCIATION  
REMANINDER OF CALLED  
1.702 ACRES  
8578/27

N/F THETA ZETA OF CHI PHI  
ALUMNI HOUSING ASSOCIATION  
REMANINDER OF CALLED  
1.702 ACRES  
8578/27

N/F THETA ZETA OF CHI PHI  
ALUMNI HOUSING ASSOCIATION  
REMANINDER OF CALLED  
1.702 ACRES  
8578/27

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS  
COUNTY OF BRAZOS

I, Christopher J. Shuler, Chl Phil Educational Trust owner and developer of the land shown on this plat, and designated herein as Lot 1, Block 1 of the North Campus Subdivision, to the City of Bryan, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, greenways, infrastructure, easements and public places thereon shown for the purpose and consideration therein expressed. All such dedications shall be in fee simple unless expressly provided otherwise.

Christopher J. Shuler  
Chl Phil Educational Trust

Notary Public, Brazos County, Texas

STATE OF TEXAS  
COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared Christopher J. Shuler known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal on this 24th day of August, 2016

Notary Public, Brazos County, Texas

CERTIFICATE OF THE SURVEYOR

STATE OF TEXAS  
COUNTY OF BRAZOS

Brook Kerr, Registered Professional Land Surveyor No. 4502, in the State of Texas, do hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that the property monuments and monuments were placed by my supervision on the ground.

Filed for Records in:  
Brazos County  
Ent. Aug 19, 2016 at 03:44:38  
As a  
Plat  
Document Number: 01273819  
Amount: 73.00  
Receipt Number: 582604  
Cathy E. Edwards

STATE OF TEXAS  
COUNTY OF BRAZOS

I, Karen McQueen, County Clerk, in and for said county, do hereby certify that this plat together with its certificate of authentication was filed for record in my office the 15th day of August, 2016, in the Deed Records of Brazos County, Texas, in Volume 1333, Page 50.

Witness my hand and official Seal, at my office in Bryan, Texas.

Karen McQueen  
County Clerk  
Brazos County, Texas  
By: Debra L. Keene  
Deputy Clerk

CERTIFICATE OF PLANNING AND ZONING COMMISSION

STATE OF TEXAS  
COUNTY OF BRAZOS

I, Bobby Gutierrez, Chairman of the Planning and Zoning Commission of the City of Bryan, Texas, hereby certify that the attached plat was duly approved by the Commission on the 15th day of August, 2016.

Bobby Gutierrez  
Chairman

CERTIFICATE OF CITY ENGINEER

STATE OF TEXAS  
COUNTY OF BRAZOS

I, W. Paul Kasper, City Engineer of the City of Bryan, Texas, hereby certify that this Subdivision conforms to the requirements of the Subdivision Regulations of the City of Bryan, Texas.

W. Paul Kasper  
City Engineer

APPROVAL OF THE CITY PLANNER

STATE OF TEXAS  
COUNTY OF BRAZOS

I, Martin Zimmerman, the undersigned, City Planner and/or designated representative of the Planning and Zoning Commission of the City of Bryan, Texas, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the 15th day of August, 2016.

Martin Zimmerman  
City Planner  
Bryan, Texas SD 14

## FINAL PLAT

### NORTH CAMPUS SUBDIVISION

6.390 ACRES - 19 LOTS

SURVEY LEAGUE, A-50

BRYAN, BRAZOS COUNTY, TEXAS

LOTS 1-19, BLOCK 1 AND COMMON AREAS 1 & 2, BLOCK 1

**OWNER/DEVELOPER:**

Bona Fide Acquisitions, LLC  
4400 Old College Road  
Bryan, Texas 77801  
(979) 739-4930

**OWNER - LOT 1:**

Theta Zeta of Chi Phi  
Alumni Housing Association  
2723 Duck Hill Dr.  
Pflug, TX 78055

**SCALE:** 1" = 40'  
AUGUST 2016

**SURVEYOR:**

Brook Kerr, RPLS No. 4502  
Kerr Surveying, LLC  
409 N. Texas Ave.  
Bryan, TX 77803  
(979) 268-3195

**ENGINEER:**

Schultz Engineering, LLC  
TRPE NO. 12327  
811 Southland Parkway East  
College Station, Texas 77840  
(979) 764-3600

### VICINITY MAP

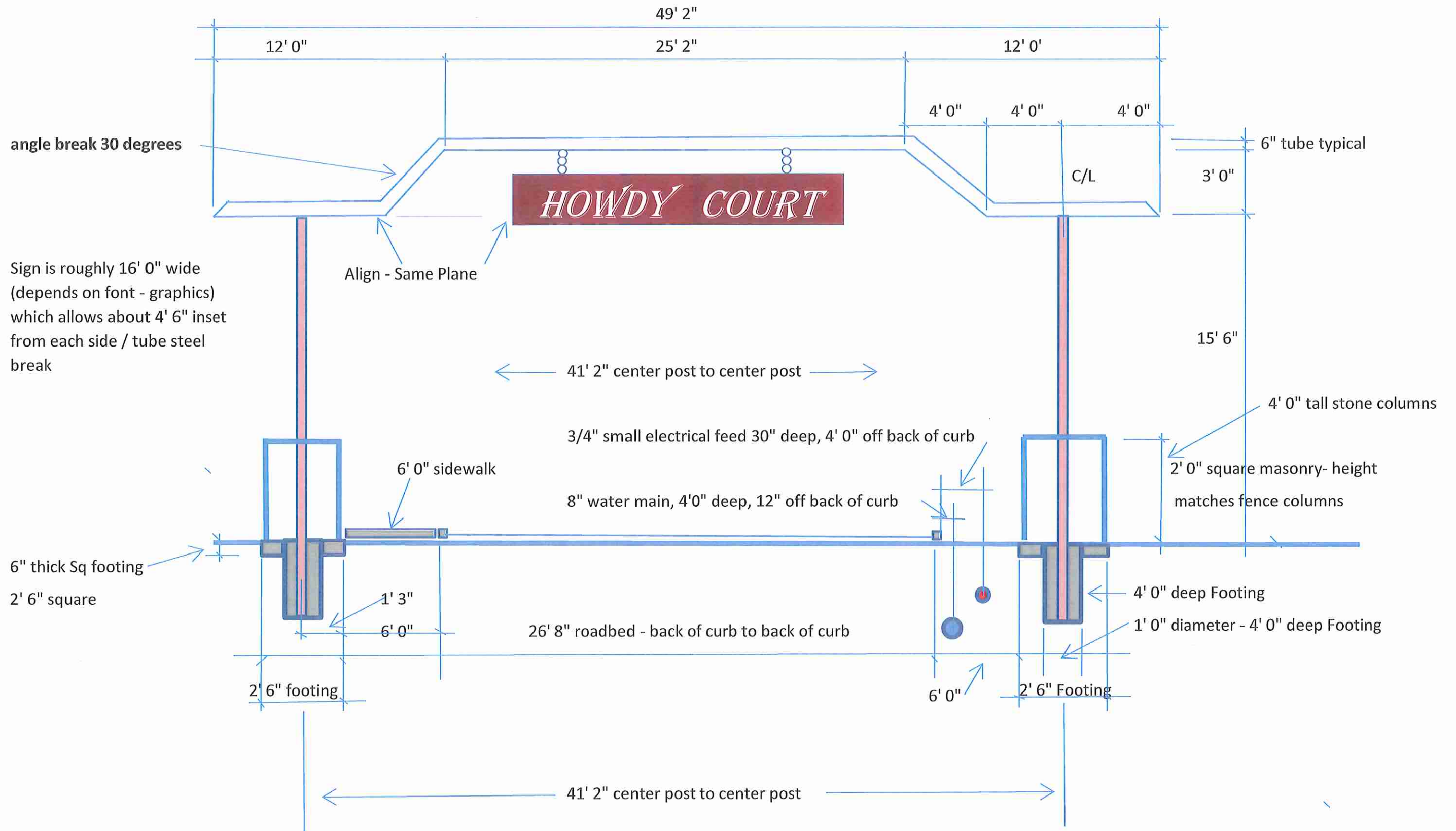


LEGEND

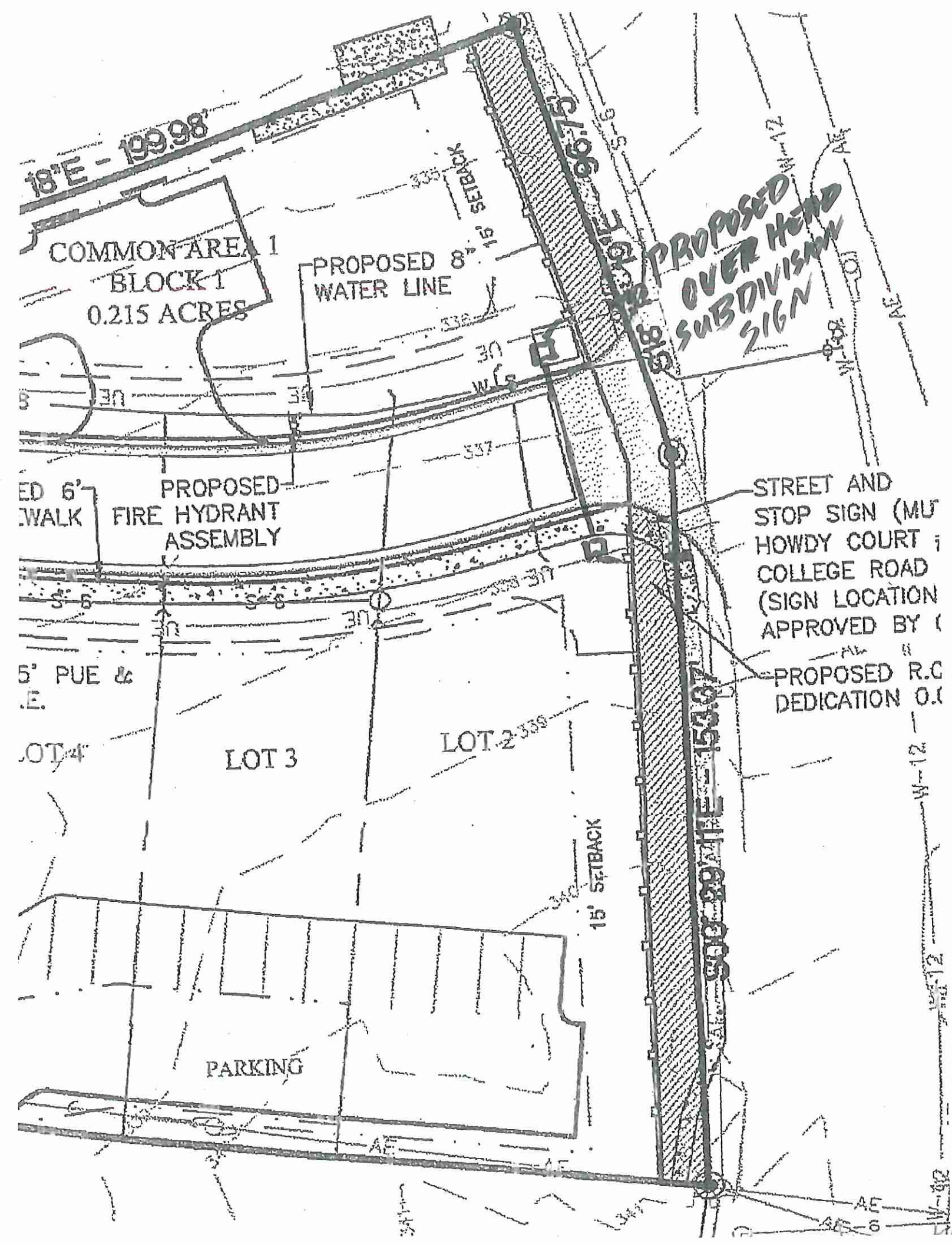
—	PROPERTY BOUNDARY
—	RIGHT OF WAY
—	LOT LINE
—	PROPOSED PUBLIC UTILITY EASEMENT (P.U.E.)
—	ADJACENT PROPERTY LINE
—	RIGHT OF WAY DEDICATION
—	PROPOSED PUBLIC DRAINAGE EASEMENT (P.D.E.)
—	PROPOSED PRIVATE DRAINAGE EASEMENT
—	PROPOSED PRIVATE ACCESS EASEMENT
—	PROPOSED PRIVATE UTILITY EASEMENT (P.U.E.)
—	EXISTING PUBLIC UTILITY EASEMENT (P.U.E.)
—	EXISTING PUBLIC DRAINAGE EASEMENT (P.D.E.)
—	EXISTING PRIVATE UTILITY EASEMENT (P.U.E.)
—	EXISTING PRIVATE DRAINAGE EASEMENT (P.D.E.)
—	EXISTING PRIVATE ACCESS EASEMENT (P.A.E.)
—	PROPERTY OWNER



# HOWDY COURT ENTRANCE SIGN



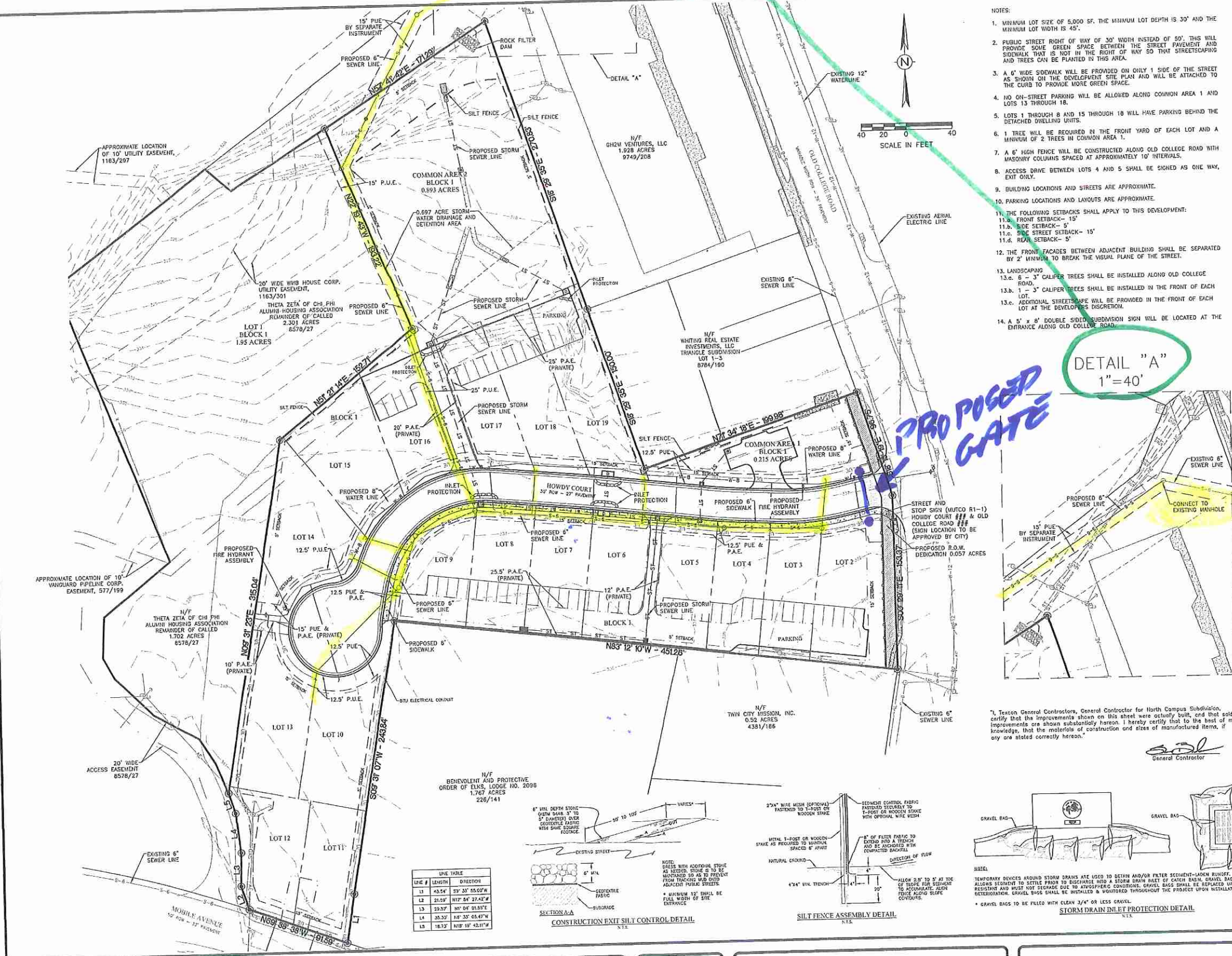




- 1 After review of the Oct 4th e-mail from Cody Cravatt and subsequent discussions with Martin Zimmerman, we accept all revisions to the narrative description of this revision and will comply fully with the insurance requirements set forth by the City. We will provide engineer stamped drawings when we pursue the actual sign permit.
- 2 The footing for the sign will infringe into the 12.5' Public Utility Easement. Mr. Zimmerman requested I provide an "as built" sketch for this area to determine any possible conflicts. I met representatives from Bryon Public Works as well as BTU on site and physically located their actual installations
- 3 First, there is nothing on the south side what so ever. Nor any plans to ever be. This side has a 6' 0" sidewalk and our proposed footing is just outside this sidewalk. But there are no utility in this area at all.
- 4 Referring to Sketch "A", the sanitary system flows west and north to a manhole north of the property. The service for the far east houses stops about 25 feet from the proposed overhead sign. Therefore, the sanitary system is nowhere close to the sign and/or any possible conflict. Sketch "B" is an enlarged clarification
- 5 Sketch "C" indicates the main water service to the subdivision come from across Old College, from the east side. The 8" water main runs immediately outside the curb along the north side of Howdy Court. So this center line is approximately 1' 0" from the back of curb. The center of our proposed sign footing is 7' 0" from back of curb. The footing is 2' 0" square so will range from 6' 0" to 8' 0" from back of curb. This allows 6' 0" of grass surface to service the water main if necessary.
- 6 Sketch "D" is the actual BTU as built drawing that shows the main loop of electrical service fed from the southwest corner. The transformers and secondary pedestals for the two eastern most house (close to the gate) are approximately 25' from the gate. So there is no conflict with the high voltage service, transformers and/or pedestals whatsoever.
- 7 However, Sketch "D" also show a small secondary feed, in a 3/4" conduit, that runs from the northeastern most transformer to the street light on the northeast corner of Old College and Howdy Court. This line is approximately 4' 0" off the back of curb. The center of our proposed sign footing is 7' 0" from back of curb. The footing is 2' 0" square so will range from 6' 0" to 8' 0" from back of curb. This allows 6' 0" of grass surface to service this small feeder if necessary.
- 8 Therefore on the north side, there are two lines - the 8" water main and a 3/4" street light feeder that travel through the 6' 0" grass area between the back of curb and the edge of the sign footing. Both utility companies, while quickly pointing out it was not within their authority to approve, stated that maintenance would not be a problem.



DETAIL "A"

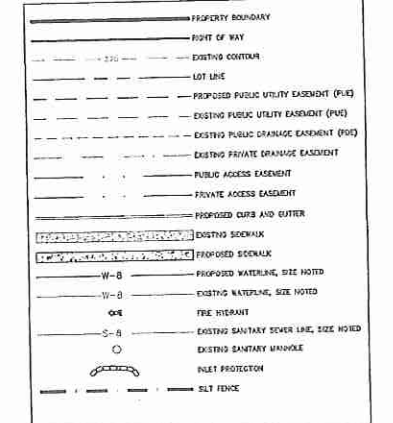


- NOTES:
1. MINIMUM LOT SIZE OF 5,000 SF. THE MINIMUM LOT DEPTH IS 30' AND THE MINIMUM LOT WIDTH IS 45'.
  2. PUBLIC STREET RIGHT OF WAY OF 30' WIDTH INSTEAD OF 50'. THIS WILL PROVIDE SOME GREEN SPACE BETWEEN THE STREET PAVEMENT AND SIDEWALK THAT IS NOT IN THE RIGHT OF WAY SO THAT STREETSCAPING AND TREES CAN BE PLANTED IN THIS AREA.
  3. A 6' WIDE SIDEWALK WILL BE PROVIDED ON ONLY 1 SIDE OF THE STREET AS SHOWN ON THE DEVELOPMENT SITE PLAN AND WILL BE ATTACHED TO THE CURB TO PROVIDE MORE GREEN SPACE.
  4. NO ON-STREET PARKING WILL BE ALLOWED ALONG COMMON AREA 1 AND LOTS 13 THROUGH 18.
  5. LOTS 1 THROUGH 8 AND 15 THROUGH 18 WILL HAVE PARKING BEHIND THE DETACHED DWELLING UNITS.
  6. 1 TREE WILL BE REQUIRED IN THE FRONT YARD OF EACH LOT AND A MINIMUM OF 2 TREES IN COMMON AREA 1.
  7. A 6' HIGH FENCE WILL BE CONSTRUCTED ALONG OLD COLLEGE ROAD WITH MASONRY COLUMNS SPACED AT APPROXIMATELY 10' INTERVALS.
  8. ACCESS DRIVE BETWEEN LOTS 4 AND 5 SHALL BE SIGNED AS ONE WAY, EXIT ONLY.
  9. BUILDING LOCATIONS AND STREETS ARE APPROXIMATE.
  10. PARKING LOCATIONS AND LAYOUTS ARE APPROXIMATE.
  11. THE FOLLOWING SETBACKS SHALL APPLY TO THIS DEVELOPMENT:
    - 11.a. FRONT SETBACK- 15'
    - 11.b. SIDE SETBACK- 5'
    - 11.c. SIDE STREET SETBACK- 15'
    - 11.d. REAR SETBACK- 5'
  12. THE FRONT FACADES BETWEEN ADJACENT BUILDING SHALL BE SEPARATED BY 2' MINIMUM TO BREAK THE VISUAL PLANE OF THE STREET.
  13. LANDSCAPING
    - 13.a. 6 - 3" CALIPER TREES SHALL BE INSTALLED ALONG OLD COLLEGE ROAD.
    - 13.b. 1 - 3" CALIPER TREES SHALL BE INSTALLED IN THE FRONT OF EACH LOT.
    - 13.c. ADDITIONAL STREETSCAPE WILL BE PROVIDED IN THE FRONT OF EACH LOT AT THE DEVELOPER'S DISCRETION.
  14. A 5' x 8' DOUBLE SIDED SUBDIVISION SIGN WILL BE LOCATED AT THE ENTRANCE ALONG OLD COLLEGE ROAD.

DETAIL "A"  
1"=40'

- CONSTRUCTION NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. NOTIFICATION OF THE UTILITY COMPANIES 48 HOURS IN ADVANCE OF CONSTRUCTION IS REQUIRED.  
DUG TESS: (800) 344-8377  
ATMOS ENERGY: (979) 774-2506  
SUDEN LINK COMMUNICATIONS: (979) 595-2429  
VERIDON: (979) 821-4770
  2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO USE WHATEVER MEANS NECESSARY TO MINIMIZE EROSION AND PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. THIS INCLUDES THE INSTALLATION OF A CONSTRUCTION EXIT AND SILT FENCE AS NECESSARY.
  3. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND MAINTAINING THE EROSION AND SEDIMENT CONTROL DEVICES. INSPECTIONS SHALL BE DONE EVERY 14 DAYS AND AFTER EVERY RAINFALL EVENT OF 1/2" OR MORE. THE CONTRACTOR SHALL REMOVE ALL MUD DEPOSITED ON THE ADJACENT STREETS AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT.
  4. THE CONTRACTOR IS REQUIRED TO MAINTAIN THE TPOES GENERAL PERMIT NO. TXR 150000 REQUIREMENTS FOR CONSTRUCTION SITES.
  5. PERMANENT VEGETATION WILL BE ESTABLISHED ON THE DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE BY HYDROSEEDING AND SEEDING ALL DISTURBED AREAS.
  6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2012 CITY OF BRYAN/COLLEGE STATION STANDARD SPECIFICATIONS AND DETAILS FOR WATER, SEWER, STREETS AND DRAINAGE. ALL CONSTRUCTION SHALL BE COORDINATED WITH THE CITY ENGINEER'S OFFICE.
  7. THE CONSTRUCTION SHALL COMPLY WITH OSHA STANDARD 29 CFR PART 1926 SUBPART P FOR TRENCH SAFETY REQUIREMENTS.
  8. THE CONTRACTOR SHALL REMOVE THE EROSION CONTROL MEASURES ONCE GRASS IS ESTABLISHED.
  9. INLET PROTECTION TO BE INSTALLED AT ALL PROPOSED AND EXISTING INLETS ADJACENT TO THE PROJECT SITE.
  10. THE CONTRACTOR SHALL REMOVE THE EXISTING TOPSOIL AND STOCKPILE FOR REUSE FROM ALL AREAS OF CONSTRUCTION. THIS INCLUDES THE PROPOSED LOT AREAS WHICH WILL RECEIVE FILL MATERIAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEER ONCE TOPSOIL HAS BEEN REMOVED FROM AN AREA FOR THE ENGINEER TO APPROVE THE CONTRACTOR TO BEGIN EXCAVATION OR FILL PLACEMENT.
  11. TOPSOIL REPLACEMENT IS REQUIRED TO A MINIMUM DEPTH OF 3" IN ALL RIGHT OF WAY AND EASEMENT AREAS AND A DEPTH OF 4" IN THE DETENTION POND AREAS. CONTRACTOR WILL UTILIZE EXISTING TOPSOIL FROM THE SITE, NO IMPORT OF TOPSOIL IS REQUIRED.
  12. A MINIMUM OF 4" OF COVER MUST BE MAINTAINED FROM FINISHED GRADE TO TOP OF PIPELINE. ALL BURIED LINES CROSSING EXPLORER PIPELINES RIGHT OF WAY SHALL MAINTAIN A MINIMUM SEPARATION OF 24 INCHES BETWEEN THE TWO LINES. SIX INCH WIDE BURIAL WARNING TAPE MUST BE PLACED 12 TO 18 INCHES ABOVE SEWER AND WATER LINES WITHIN THE PIPELINE RIGHT OF WAY. AN EXPLORER PIPELINE REPRESENTATIVE MUST BE PRESENT DURING EXCAVATION WITHIN THE PIPELINE RIGHT OF WAY.
  13. THE DETENTION FACILITIES MUST BE CONSTRUCTED FIRST FOR THIS PROJECT.

LEGEND

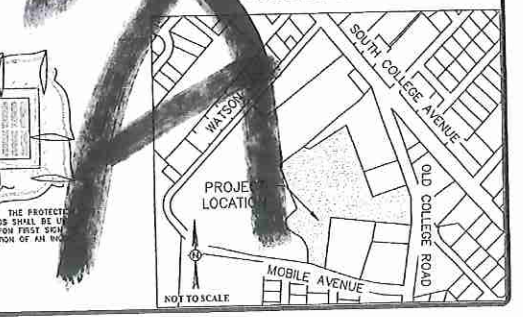


To the City of Bryan:  
I certify that the subdivision improvements shown on this sheet reflect any revisions of design of which I authorized, and/or any other changes of which I am aware.

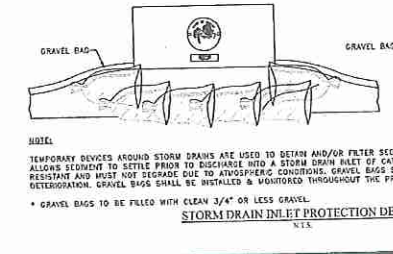
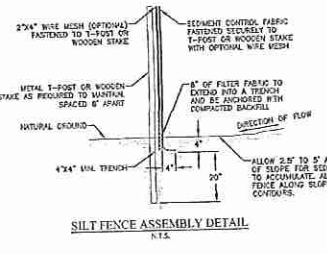
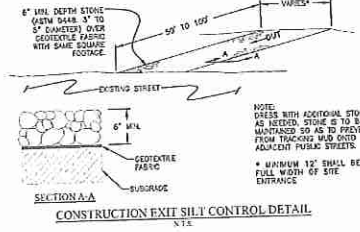
Professional Engineer  
Bryan L. Doyen  
State of Texas No. 109835

General Contractor

VICINITY MAP



LINE TABLE	
LINE #	DIRECTION
1	43.54' S 33° 33' 55.00" W
2	21.59' N 17° 54' 27.42" E
3	22.57' N 0° 04' 01.55" E
4	35.32' N 3° 35' 05.47" W
5	18.32' N 18° 10' 42.11" W



MARK	REVISION	BY	DATE

**Schultz Engineering, LLC**  
2730 Longmire, Suite A  
College Station, Texas 77845  
979.764.3900

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY  
JOHN L. DOYEN, P.E.  
LICENSE NO. 109835  
SEPTEMBER 14, 2016

AS-BUILT DRAWINGS

SURVEYED	DESIGNED	DRAWN	APPROVED	JOB NO.	DATE
KERR	DLD	DLD	JPS	14-371	SEPTEMBER 2016



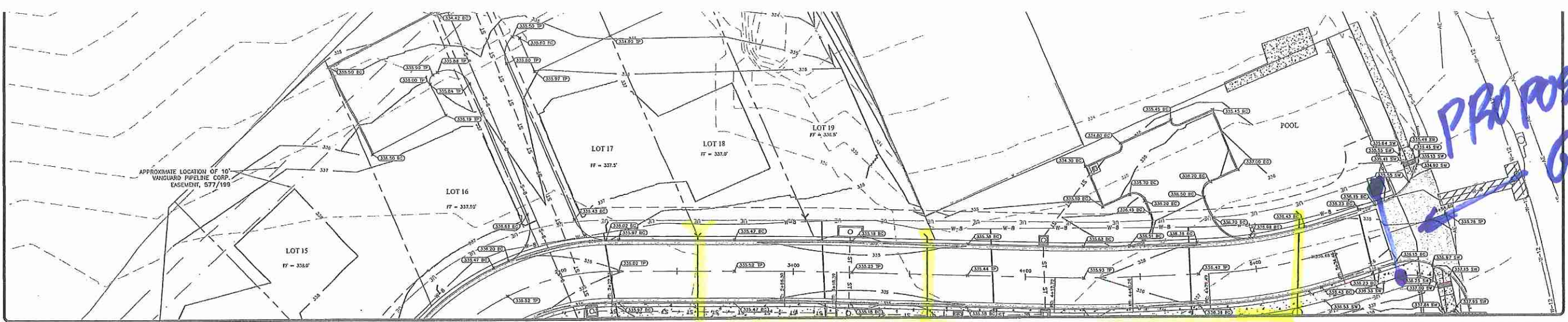
NORTH CAMPUS SUBDIVISION  
LOTS 1-19, BLOCK 1 &  
COMMON AREAS 1 & 2, BLOCK 1  
BRYAN, TX

OVERALL LAYOUT & EROSION  
CONTROL PLAN

SCALE  
VERTICAL: N/A  
HORIZONTAL: 1"=40'  
PLOTTER SCALE: 1:1  
FILE NAME: 14-371

SHEET  
1  
13





MARK	REVISION	BY	DATE

**Schultz Engineering, LLC**  
 2730 Longmire, Suite A  
 College Station, Texas 77845  
 979.764.3900  
 T&E NO. 12327

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY  
 DEVEN L. GOYEN, P.E.  
 LICENSE NO. 109835  
 SEPTEMBER 14, 2016  
 AS-BUILT DRAWINGS

SURVEYED	DESIGNED	DRAWN	APPROVED	JOB NO.	DATE
KERR	DLD	DLD	JPS	14-371	SEPTEMBER 2016



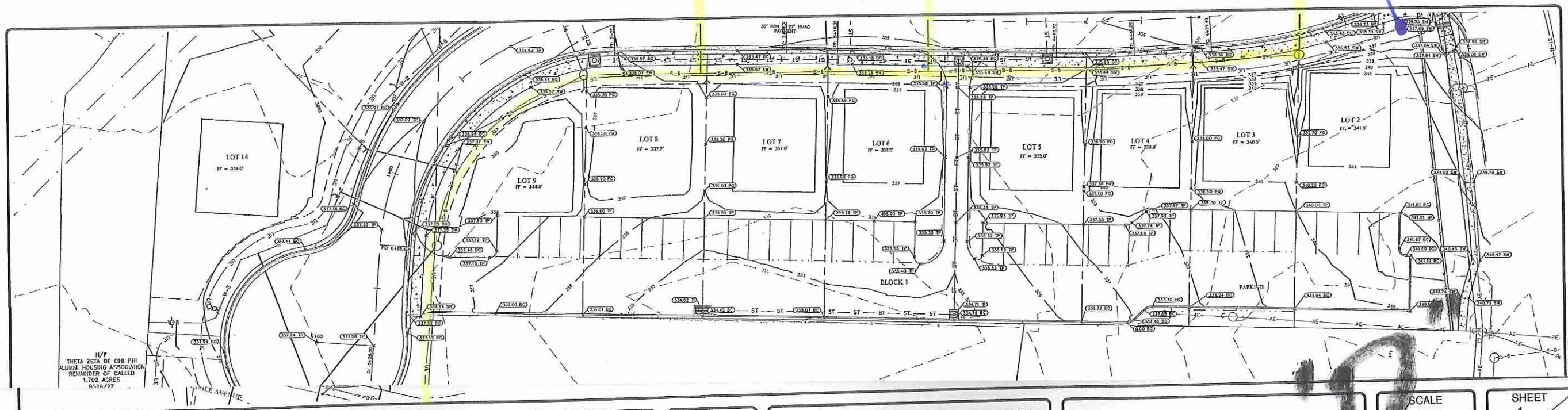
**NORTH CAMPUS SUBDIVISION**  
 LOTS 1-19, BLOCK 1 &  
 COMMON AREAS 1 & 2, BLOCK 1  
 BRYAN, TX

**GRADING PLAN**  
 SHEET 2 OF 2

SCALE  
 VERTICAL: N/A  
 HORIZONTAL: 1"=30'  
 PLOTTING SCALE: 1:1  
 FILE NAME: 14-371

SHEET  
 5  
 13

*ENLARGED SANITARY FOR CLARITY -*

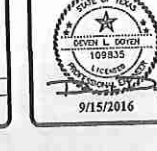


MARK	REVISION	BY	DATE

**Schultz Engineering, LLC**  
 2730 Longmire, Suite A  
 College Station, Texas 77845  
 979.764.3900  
 T&E NO. 12327

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY  
 DEVEN L. GOYEN, P.E.  
 LICENSE NO. 109835  
 SEPTEMBER 14, 2016  
 AS-BUILT DRAWINGS

SURVEYED	DESIGNED	DRAWN	APPROVED	JOB NO.	DATE
KERR	DLD	DLD	JPS	14-371	SEPTEMBER 2016



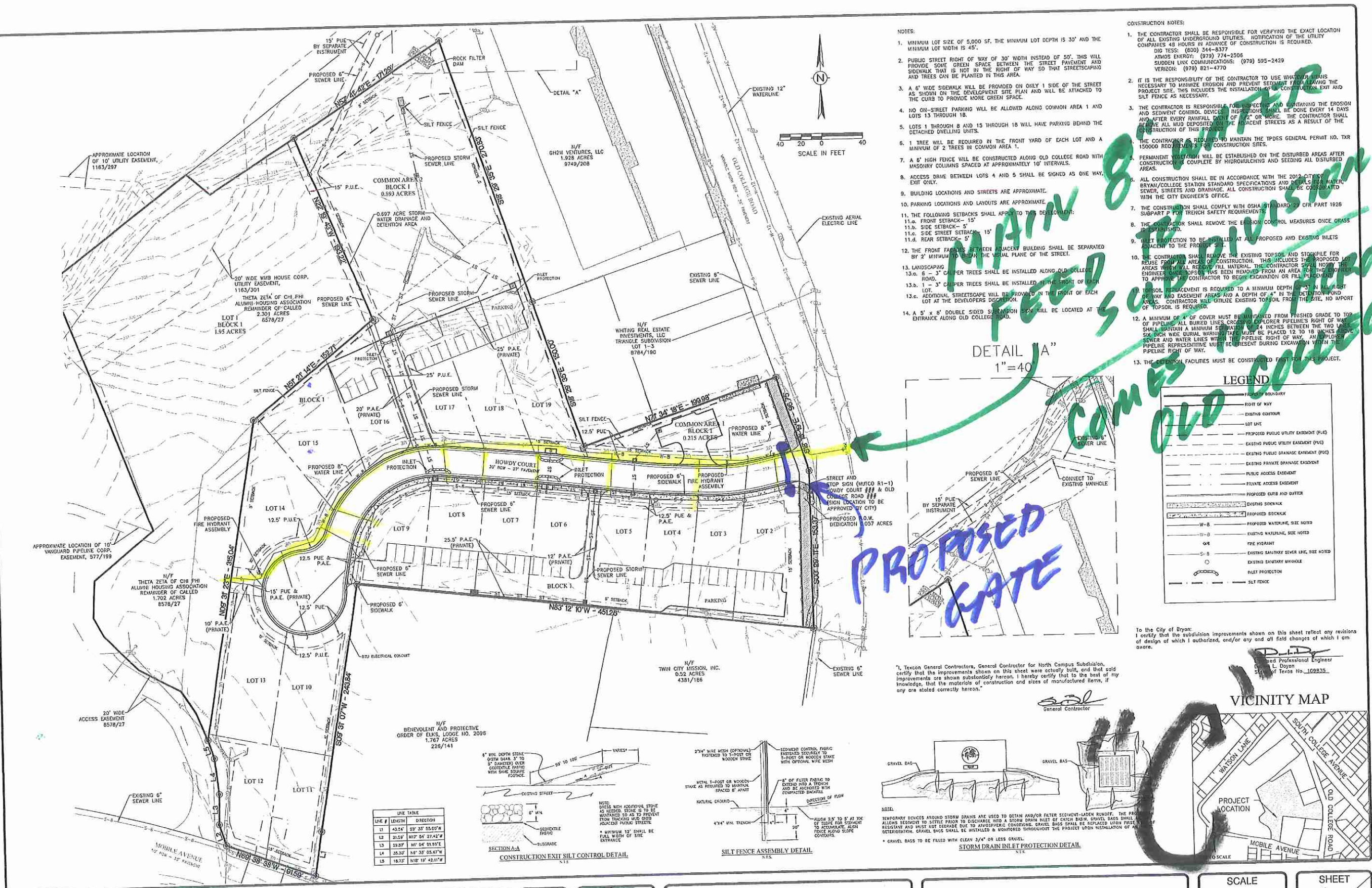
**NORTH CAMPUS SUBDIVISION**  
 LOTS 1-19, BLOCK 1 &  
 COMMON AREAS 1 & 2, BLOCK 1  
 BRYAN, TX

**GRADING PLAN**  
 SHEET 1 OF 2

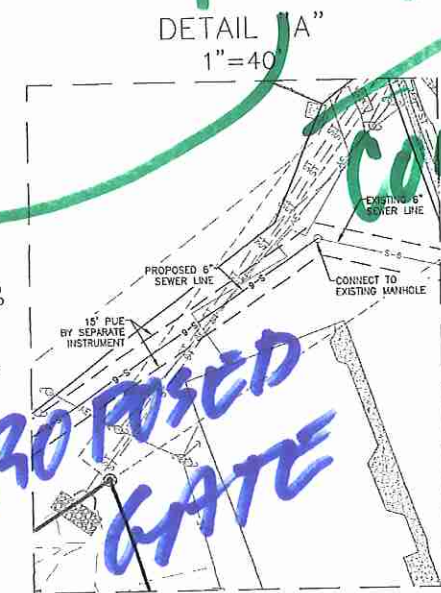
SCALE  
 VERTICAL: N/A  
 HORIZONTAL: 1"=30'  
 PLOTTING SCALE: 1:1  
 FILE NAME: 14-371

SHEET  
 4  
 13





- NOTES:
1. MINIMUM LOT SIZE OF 5,000 SF. THE MINIMUM LOT DEPTH IS 30' AND THE MINIMUM LOT WIDTH IS 45'.
  2. PUBLIC STREET RIGHT OF WAY OF 30' WIDTH INSTEAD OF 50'. THIS WILL PROVIDE SOME GREEN SPACE BETWEEN THE STREET PAVEMENT AND SIDEWALK THAT IS NOT IN THE RIGHT OF WAY SO THAT STREETSCAPING AND TREES CAN BE PLANTED IN THIS AREA.
  3. A 6' WIDE SIDEWALK WILL BE PROVIDED ON ONLY 1 SIDE OF THE STREET AS SHOWN ON THE DEVELOPMENT SITE PLAN AND WILL BE ATTACHED TO THE CURB TO PROVIDE MORE GREEN SPACE.
  4. NO ON-STREET PARKING WILL BE ALLOWED ALONG COMMON AREA 1 AND LOTS 13 THROUGH 18.
  5. LOTS 1 THROUGH 8 AND 15 THROUGH 18 WILL HAVE PARKING BEHIND THE DETACHED DWELLING UNITS.
  6. 1 TREE WILL BE REQUIRED IN THE FRONT YARD OF EACH LOT AND A MINIMUM OF 2 TREES IN COMMON AREA 1.
  7. A 6' HIGH FENCE WILL BE CONSTRUCTED ALONG OLD COLLEGE ROAD WITH MASONRY COLUMNS SPACED AT APPROXIMATELY 10' INTERVALS.
  8. ACCESS DRIVE BETWEEN LOTS 4 AND 5 SHALL BE SIGNED AS ONE WAY, EXIT ONLY.
  9. BUILDING LOCATIONS AND STREETS ARE APPROXIMATE.
  10. PARKING LOCATIONS AND LAYOUTS ARE APPROXIMATE.
  11. THE FOLLOWING SETBACKS SHALL APPLY TO THIS DEVELOPMENT:
    - 11.a. FRONT SETBACK - 15'
    - 11.b. SIDE SETBACK - 5'
    - 11.c. SIDE STREET SETBACK - 15'
    - 11.d. REAR SETBACK - 5'
  12. THE FRONT FACIES BETWEEN ADJACENT BUILDING SHALL BE SEPARATED BY 2' MINIMUM TO MEET THE USUAL PLANE OF THE STREET.
  13. LANDSCAPING
    - 13.a. 6 - 3" CHAMP TREES SHALL BE INSTALLED ALONG OLD COLLEGE ROAD.
    - 13.b. 1 - 3" CHAMP TREES SHALL BE INSTALLED IN THE FRONT OF EACH LOT.
    - 13.c. ADDITIONAL STREETSCAPE WILL BE PROVIDED IN THE FRONT OF EACH LOT AT THE DEVELOPER'S DISCRETION.
  14. A 5' x 6' DOUBLE SIDED SUBSTATION SIGN WILL BE LOCATED AT THE ENTRANCE ALONG OLD COLLEGE ROAD.
- CONSTRUCTION NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. NOTIFICATION OF THE UTILITY COMPANIES 48 HOURS IN ADVANCE OF CONSTRUCTION IS REQUIRED.  
DUG TESS: (800) 344-8377  
ATMOS ENERGY: (979) 774-2506  
SUDEN LINK COMMUNICATIONS: (979) 595-2429  
VERIZON: (979) 821-4770
  2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO USE WATER/EROSION NECESSARY TO MINIMIZE EROSION AND PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. THIS INCLUDES THE INSTALLATION OF CONSTRUCTION EXIT AND SILT FENCE AS NECESSARY.
  3. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND MONITORING THE EROSION AND SEDIMENT CONTROL DEVICES. INSPECTIONS SHALL BE DONE EVERY 14 DAYS AND AFTER EVERY RAINFALL EVENT OF 1/2" OR MORE. THE CONTRACTOR SHALL REMOVE ALL MUD DEPOSITED ON THE ADJACENT STREETS AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT.
  4. THE CONTRACTOR IS REQUIRED TO MAINTAIN THE TIDES GENERAL PERMIT NO. TXR 150000 REQUIREMENTS FOR CONSTRUCTION SITES.
  5. PERMANENT VEGETATION WILL BE ESTABLISHED ON THE DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE BY HYDROSEEDING AND SEEDING ALL DISTURBED AREAS.
  6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2012 CITY OF BRYAN/COLLEGE STATION STANDARD SPECIFICATIONS AND DETAILS FOR WATER, SEWER, STREETS AND DRAINAGE. ALL CONSTRUCTION SHALL BE COORDINATED WITH THE CITY ENGINEER'S OFFICE.
  7. THE CONSTRUCTION SHALL COMPLY WITH OSHA 301 DART 22 CFR PART 1926 SUBPART 1926 TRENCH SAFETY REQUIREMENTS.
  8. THE CONTRACTOR SHALL REMOVE THE EROSION CONTROL MEASURES ONCE GRASS ADJACENT TO THE TRENCH IS ESTABLISHED.
  9. SILT PROTECTION TO BE INSTALLED AT ALL PROPOSED AND EXISTING INLETS ADJACENT TO THE FRONT YARD.
  10. THE CONTRACTOR SHALL REMOVE THE EXISTING TOPSOIL AND STOCKPILE FOR REUSE FROM ALL AREAS OF CONSTRUCTION. THIS INCLUDES THE PROPOSED LOT AREAS WHICH WILL RECEIVE FILL MATERIAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY EXISTING TOPSOIL HAS BEEN REMOVED FROM AN AREA FOR THE PROJECT TO APPROVE THE CONTRACTOR TO BEGIN EXCAVATION OR FILL PLACEMENT.
  11. TOPSOIL REPLACEMENT IS REQUIRED TO A MINIMUM DEPTH OF 3" IN ALL RIGHT OF WAY AND EASEMENT AREAS AND A DEPTH OF 4" IN THE DETENTION POND AREAS. CONTRACTOR WILL UTILIZE EXISTING TOPSOIL FROM THE SITE. NO IMPORT OF TOPSOIL IS REQUIRED.
  12. A MINIMUM OF 4" OF COVER MUST BE MAINTAINED FROM FINISHED GRADE TO TOP OF PIPELINE. ALL BURIED LINES CROSSING EXPLORER PIPELINES RIGHT OF WAY SHALL MAINTAIN A MINIMUM SEPARATION OF 24 INCHES BETWEEN THE TWO LINES. SEWER AND WATER LINES WITHIN THE PIPELINE RIGHT OF WAY, AN EXPLORER PIPELINE REPRESENTATIVE MUST BE PRESENT DURING EXCAVATION WITHIN THE PIPELINE RIGHT OF WAY.
  13. THE DETENTION FACILITIES MUST BE CONSTRUCTED FIRST FOR THIS PROJECT.



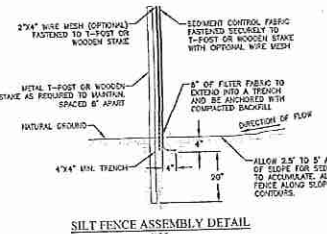
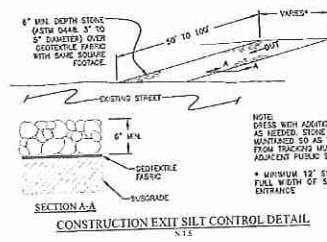
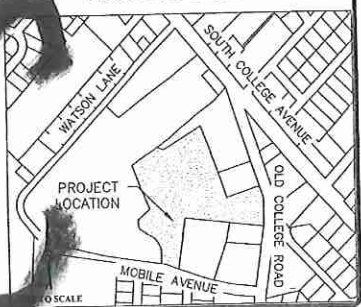
LEGEND

---	PROPERTY BOUNDARY
---	RIGHT OF WAY
---	EXISTING CONTOUR
---	LOT LINE
---	PROPOSED PUBLIC UTILITY EASEMENT (PUE)
---	EXISTING PUBLIC UTILITY EASEMENT (PUE)
---	EXISTING PUBLIC DRAINAGE EASEMENT (PDE)
---	EXISTING PRIVATE DRAINAGE EASEMENT
---	PUBLIC ACCESS EASEMENT
---	PRIVATE ACCESS EASEMENT
---	PROPOSED CURB AND GUTTER
---	EXISTING SIDEWALK
---	PROPOSED SIDEWALK
---	PROPOSED WATERLINE, SIZE NOTED
---	EXISTING WATERLINE, SIZE NOTED
---	TREE HEREANT
---	EXISTING SANITARY SEWER LINE, SIZE NOTED
---	EXISTING SANITARY MANHOLE
---	INLET PROTECTION
---	SILT FENCE

To the City of Bryan:  
I certify that the subdivision improvements shown on this sheet reflect any revisions of design of which I authorized, and/or any and all field changes of which I am aware.

Professional Engineer  
D. L. Doyen  
State of Texas No. 109835

VICINITY MAP



MARK	REVISION	BY	DATE

**Schultz Engineering, LLC**  
2730 Longmire, Suite A  
College Station, Texas 77845  
979.764.3900

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY  
DOYLE L. DOYEN, P.E.  
LICENSE NO. 109835  
SEPTEMBER 14, 2016

AS-BUILT DRAWINGS

SURVEYED	DESIGNED	DRAWN	APPROVED	JOB NO.	DATE
KERR	DLD	DLD	JPS	14-371	SEPTEMBER 2016

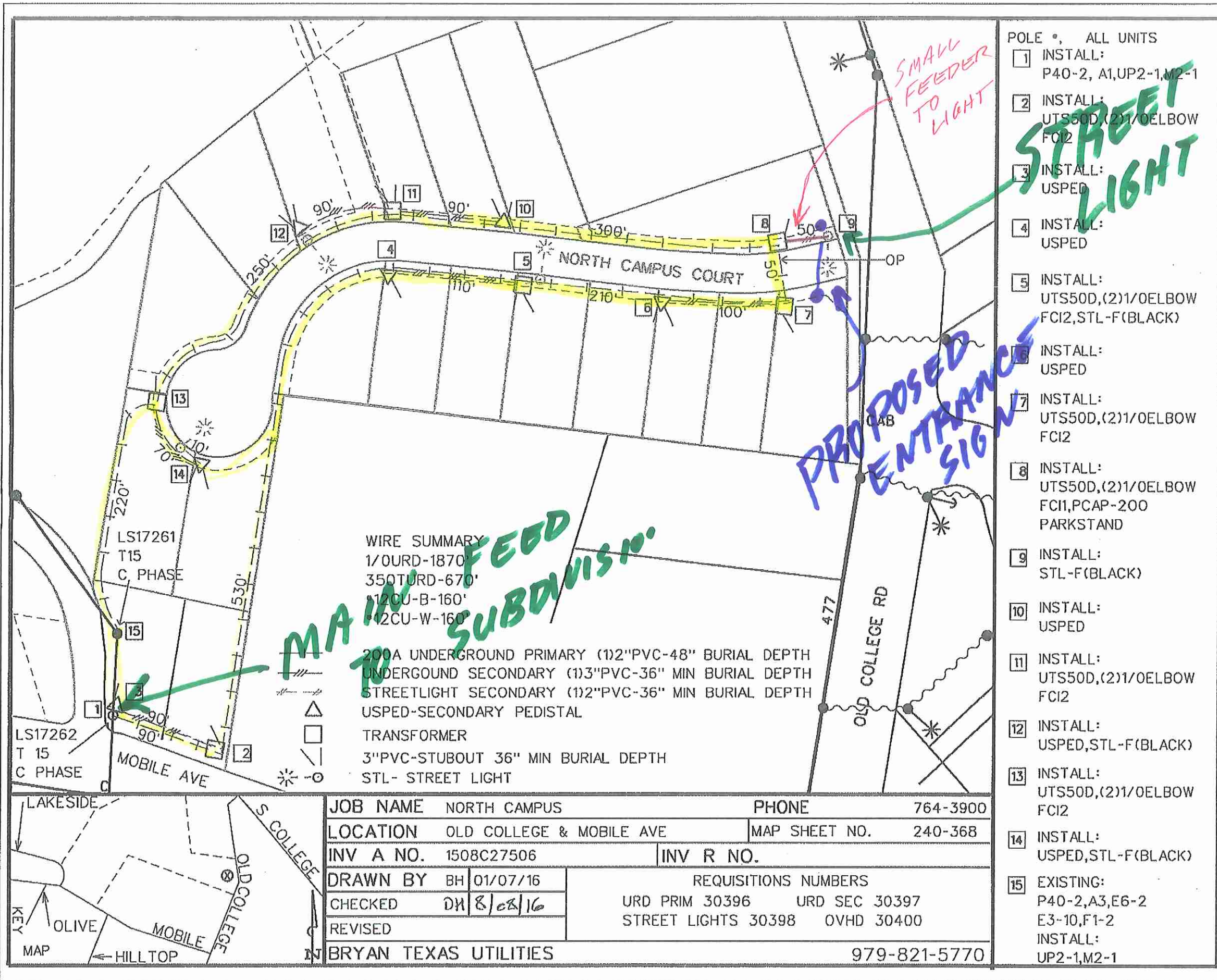


**NORTH CAMPUS SUBDIVISION**  
LOTS 1-19, BLOCK 1 &  
COMMON AREAS 1 & 2, BLOCK 1  
BRYAN, TX

**OVERALL LAYOUT & EROSION  
CONTROL PLAN**

SCALE	SHEET
VERTICAL: N/A	1
HORIZONTAL: 1"=40'	13
PLOTTING SCALE: 1:1	
FILE NAME: 14-371	





- POLE °, ALL UNITS
- 1 INSTALL: P40-2, A1,UP2-1,M2-1
  - 2 INSTALL: UTS50D,(2)1/0ELBOW FCI2
  - 3 INSTALL: USPED
  - 4 INSTALL: USPED
  - 5 INSTALL: UTS50D,(2)1/0ELBOW FCI2,STL-F(BLACK)
  - 6 INSTALL: USPED
  - 7 INSTALL: UTS50D,(2)1/0ELBOW FCI2
  - 8 INSTALL: UTS50D,(2)1/0ELBOW FCI1,PCAP-200 PARKSTAND
  - 9 INSTALL: STL-F(BLACK)
  - 10 INSTALL: USPED
  - 11 INSTALL: UTS50D,(2)1/0ELBOW FCI2
  - 12 INSTALL: USPED,STL-F(BLACK)
  - 13 INSTALL: UTS50D,(2)1/0ELBOW FCI2
  - 14 INSTALL: USPED,STL-F(BLACK)
  - 15 EXISTING: P40-2,A3,E6-2 E3-10,F1-2  
INSTALL: UP2-1,M2-1

JOB NAME		NORTH CAMPUS		PHONE		764-3900		
LOCATION		OLD COLLEGE & MOBILE AVE			MAP SHEET NO.		240-368	
INV A NO.		1508C27506			INV R NO.			
DRAWN BY		BH	01/07/16		REQUISITIONS NUMBERS			
CHECKED		DH	8/08/16		URD PRIM 30396		URD SEC 30397	
REVISED					STREET LIGHTS 30398		OVHD 30400	
BRYAN TEXAS UTILITIES						979-821-5770		